



Regional Housing Needs Assessment: TAC Overview

JANUARY 26, 2023



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RHNA PROJECT WEBPAGE:
WWW.THERPC.ORG/RHNA

RHNA Outreach Overview



**Statewide
Coordination**



6 Surveys

Community Survey
Employer Survey
Municipal Questionnaire
NH Realtors Survey
Social Service Provider Survey
Landlord & Property Manager



**Community
Events &
Forums**



**Additional
Regional &
Statewide
Outreach**

Factors Impacting Regional Housing

Regional population is increasing.

Regional population is aging.

Housing Production has slowed.

Cost of housing is increasing.

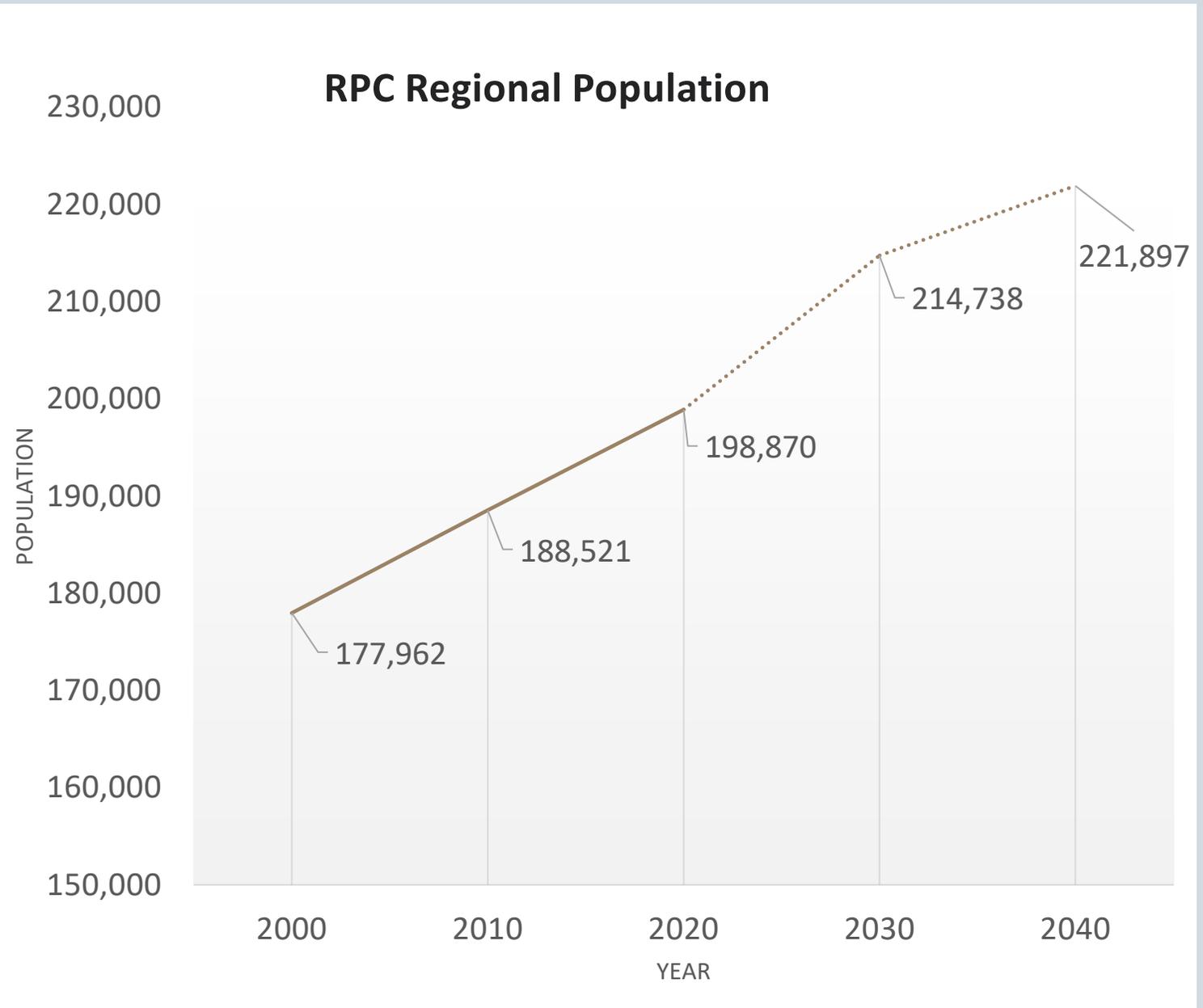
Employment trends & in-migration are changing the market.

Current housing stock does not meet the needs of our communities.

Income has lagged as housing prices continue to increase.

Regional
Population is
increasing.

2000: 177,962
2010: 188,521
2020: 198,870
2040: 221,897



Regional
Population is
aging.

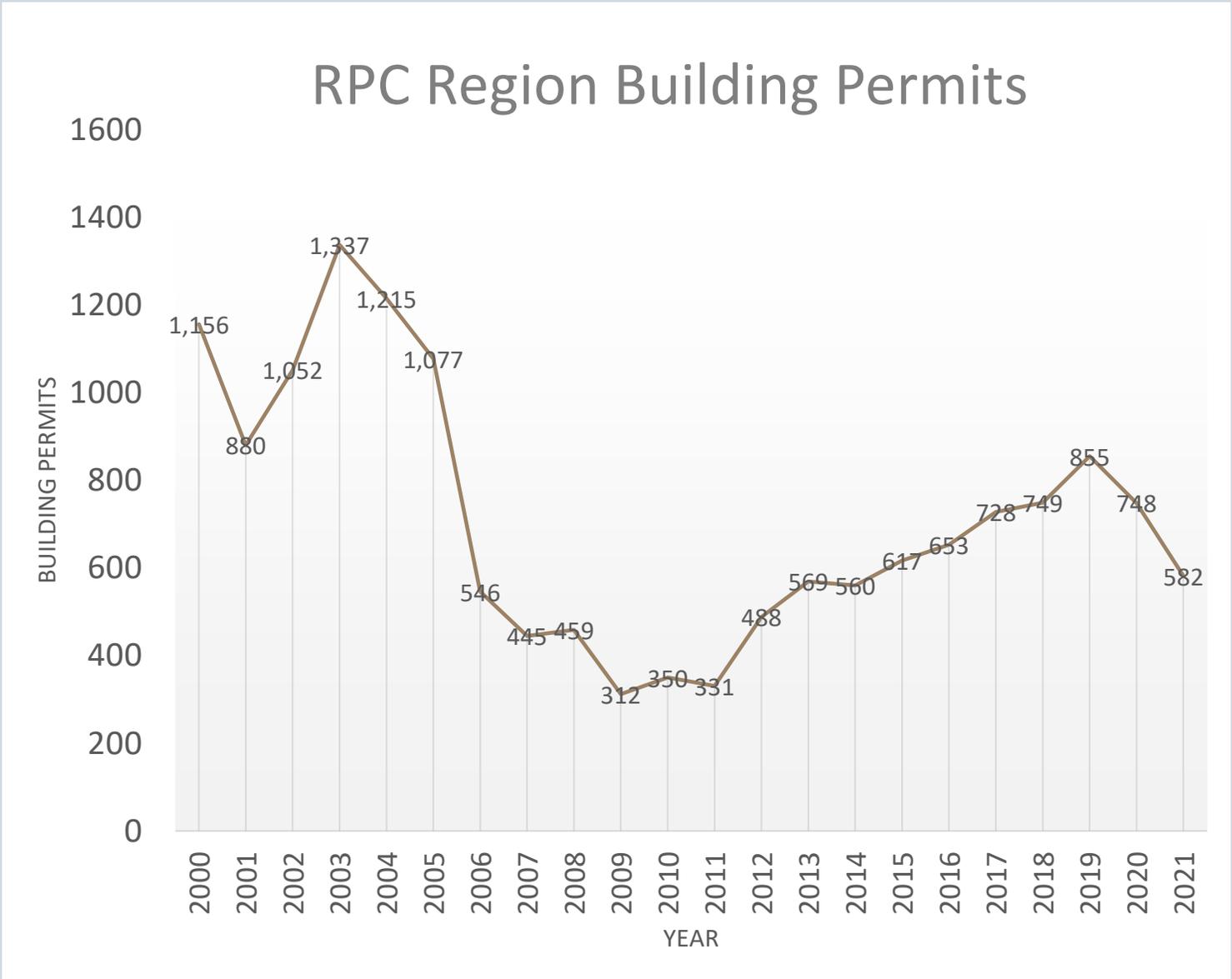
Average Age:
2010: 43
2020: 47

Average Age by Municipality

2010, 2015, 2020



Housing production has slowed.



IV. HISTORICAL & EXISTING CONDITIONS AND TRENDS

Cost of housing
is increasing for
both renters
and
homeowners.



**RPC Region
Median Gross Rent**

+47%

2010: \$1,086

2022: \$1,595

**RPC Region
Median Home Price**

+99%

2010: \$265,000

2022: \$527,000

Employment trends & in-migration are changing the market.

Where NH Homebuyers are Coming From

State	2016	2017	2018	2019	2020	2021	2022*
NH	74.7%	74.6%	73.7%	74.8%	71.5%	68.4%	71.3%
MA	14.7%	14.9%	15.7%	14.9%	17.8%	19.0%	15.8%
Other	10.6%	10.5%	10.6%	10.3%	10.7%	12.6%	13.0%

“I can't see how town workers- teachers, safety, other- can afford to live in this town. Also, I imagine that part of our employment issues (which existed prior to COVID) are due to a lack of housing that's affordable for a broad range of people. Home values are going up, and the shifting to remote work is bringing in people of means ‘from away’ (as old timers around here would say) driving low inventory prices up even more. I think climate migration is going to drive things up even more over time.” – Municipal Representative Questionnaire, 2022

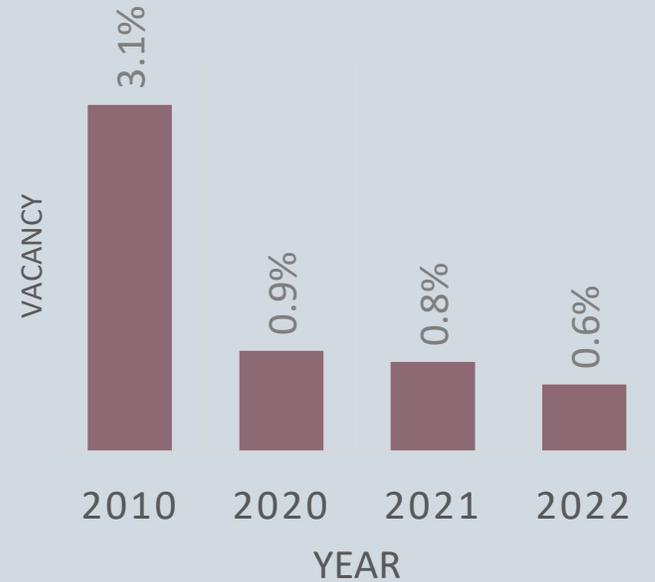
Current housing stock does not meet the needs of our communities.

Housing Choice Vouchers:
Currently Housed: 1,038
Holders Seeking Housing: 55
Waitlist: 1,266

REGIONAL MONTHS TO ABSORB



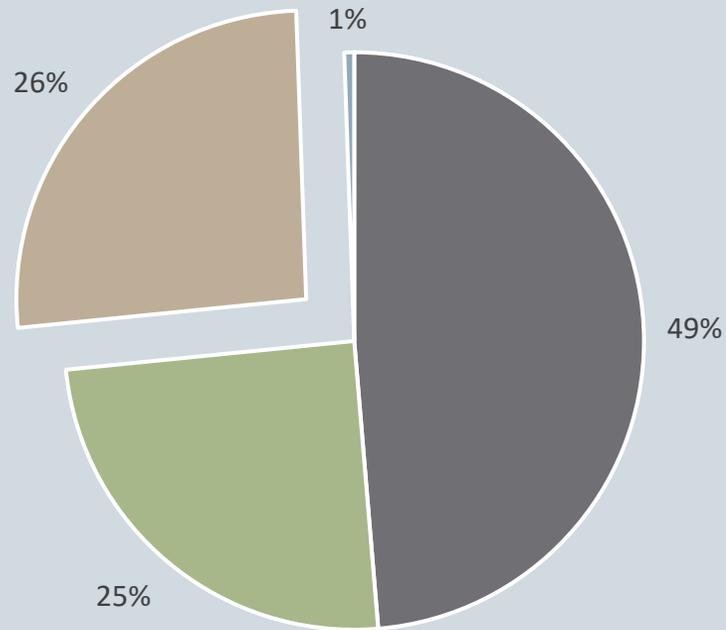
REGIONAL RENTER OCCUPIED VACANCY RATE



Regional Cost Burden

OWNER

2020



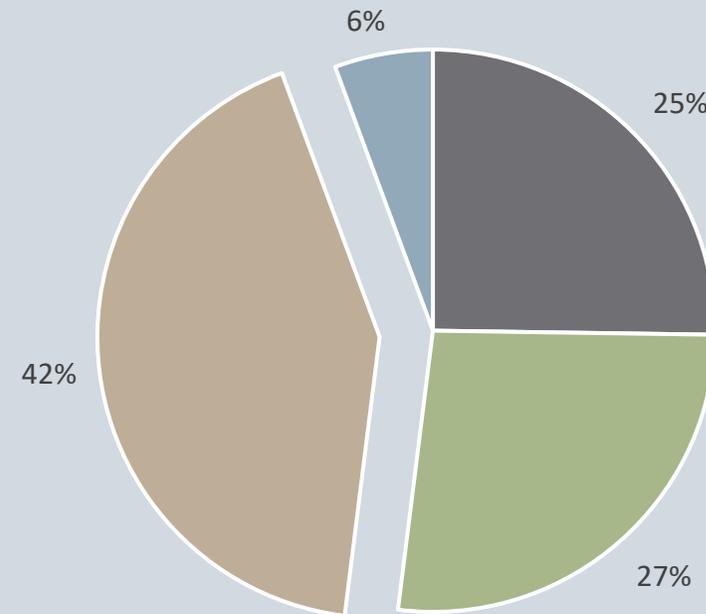
% of Household Income

■ < 20% ■ 20%-29% ■ > 30% ■ NO INCOME

Regional Cost Burden

RENTAL

2020



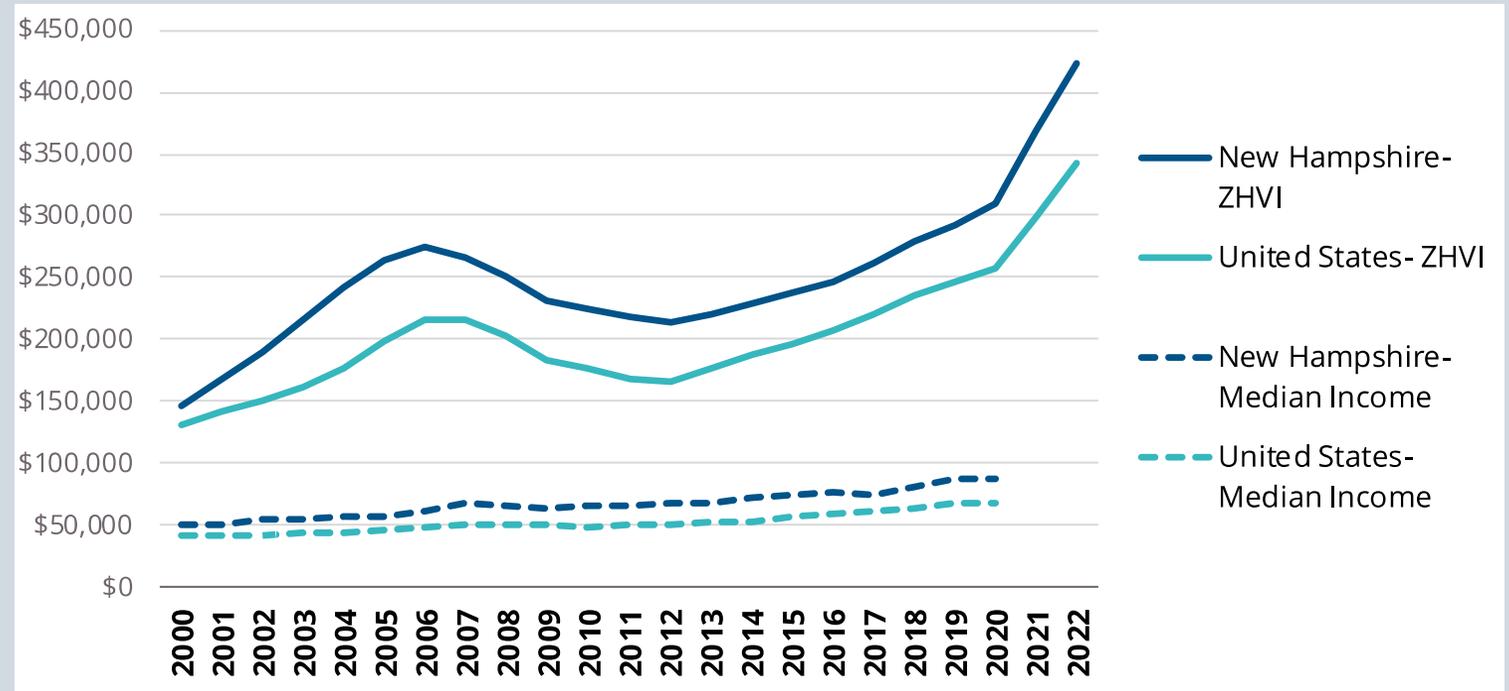
% of Household Income

■ < 20% ■ 20%-30% ■ > 30% ■ NO INCOME

Income has lagged as housing prices continue to increase.

2020
 Regional Median Income :
 Owner \$101,480
 Renter \$54,754

Statewide Zillow Home Value Index and Median Income, 2000 – 2022



Note: Data for 2020 represent January through July. Nominal dollars (not adjusted for inflation.) Income data are only available through 2020. Source: Zillow, U.S. Census median household income, retrieved from FRED, and Root Policy Research.

The Future of Housing



Planning for housing
(Infrastructure &
Land Use)



Covid-19 Pandemic



Climate Change



The Economy



Construction Costs



Short-term Rentals

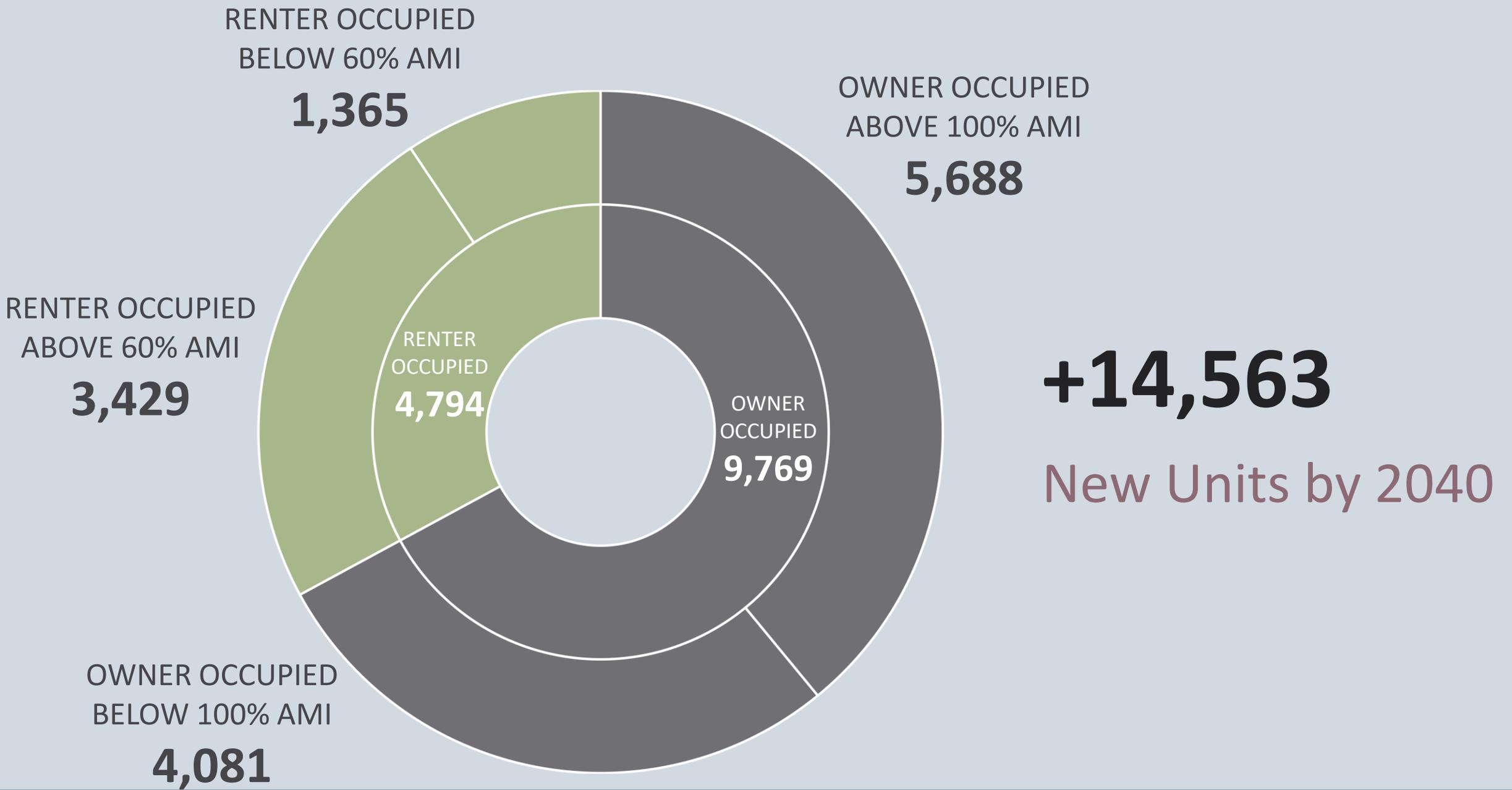
Housing Needs Projections

INTRODUCTION AND PURPOSE

As required by the Workforce Housing Statute (RSA 674:58-61) municipalities must provide “reasonable and realistic opportunities” for the development of workforce housing, including rental and multi-family housing.

While the state statute provides some guidance on how municipalities can meet the demand for workforce housing, the statute provides that municipalities must, further, provide enough qualifying units to fulfill their “fair share” of their region’s need.

The law does not provide a prescriptive methodology for calculating “fair share.”



Housing Needs Projections

LIMITATIONS OF THE MODEL

- Factors excluded from the Model:
 - Seasonal Units
 - Units in Poor Condition
 - Demolitions
- Housing markets are difficult to predict
 - Interest rates, economic factors, public funding and policy
- Best possible data available has been utilized
- Model is based on *future* projected growth
- Difficulty evaluating “point-in-time” housing counts

LAND USE REGULATIONS

POLICIES

OTHER CONTROLS

INFRASTRUCTURE

HOUSING, ECONOMY, COMMUNITY DEVELOPMENT

Housing Opportunity & Barriers

Infrastructure: Transportation Networks

Where does it make sense to plan for housing growth in the region?

Equitable Housing Development:

- Locating housing in areas where residents have access to daily needs:
 - Employment Centers, Public Transit, Food Access, Civic Infrastructure, Recreation Opp., Medical Services, etc.
- Locating housing near major transportation networks:
 - Environmental (air pollution)
 - Housing Opportunities – connecting people and economic opportunities
 - Community Connections
 - Reduction in Traffic Congestion
 - Reduction in vehicle dependent households
 - Decreased household costs

Infrastructure: Transportation Networks

CONSIDERATIONS: Zoning to allow for TOD, streetscape improvements, parking requirements, roadway improvements to meet increased traffic, other implications of housing growth on networks.

ACTION ITEM: Connecting ongoing/planned transportation improvements with housing land use regulations to increase opportunity for housing development in targeted areas.

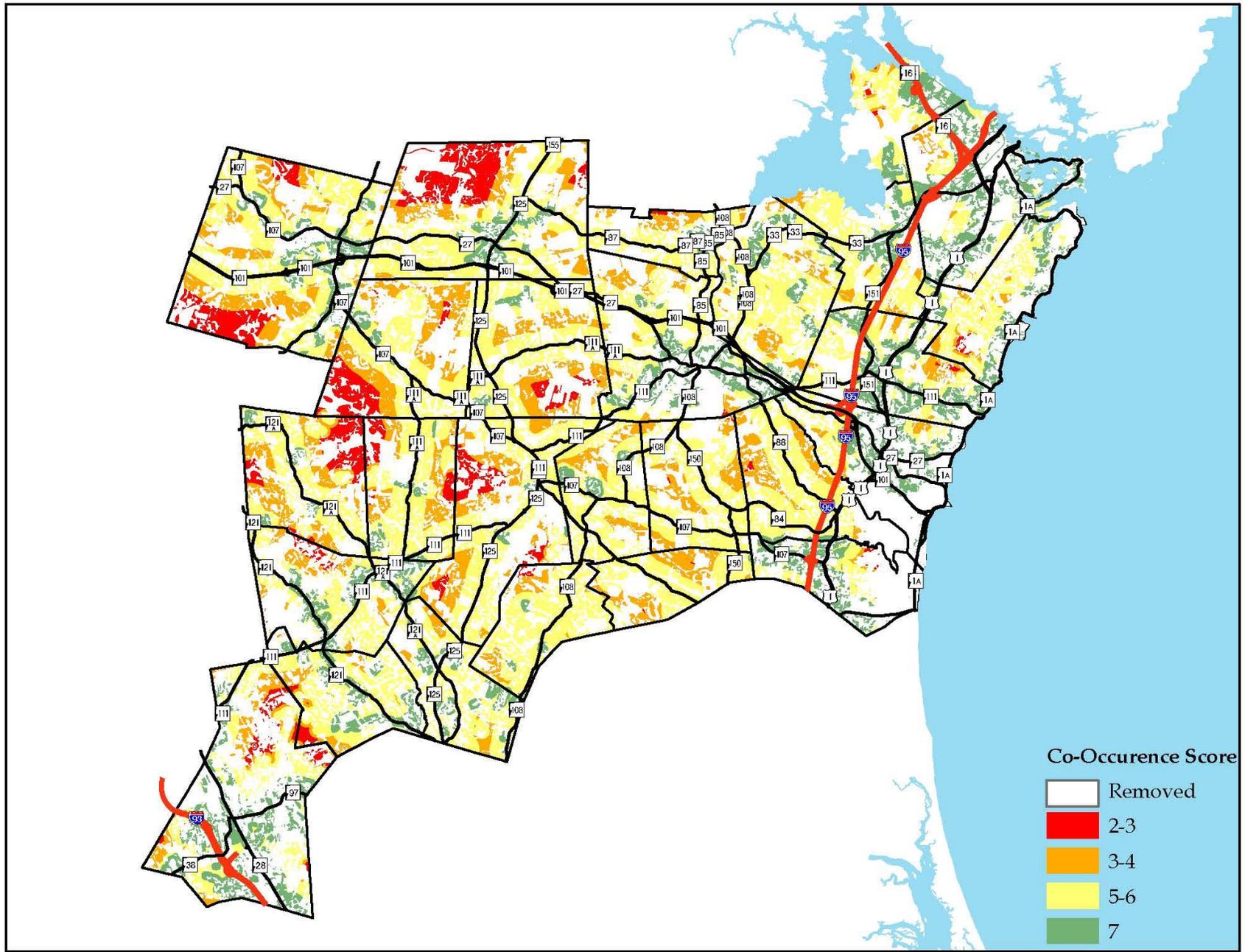
Infrastructure: Water & Wastewater

- All housing requires clean drinking water & a way to dispose of wastewater
- Housing Development should be considered where:
 - there is existing water & sewer infrastructure and/or
 - there are possibilities for connections and/or extensions of water & sewer
- Higher density housing development may support expansion of infrastructure
- Lower-density, rural areas may face more challenges in developing high or medium density housing
 - Increased cost of developing community wastewater systems (where suitable soil and land use regulations are met)

Housing Opportunity: Analysis of Infrastructure

Weights for Co-occurrence	
Dataset	Weight
Landmass after constraints	2
Major Roads within 0.5 miles	3
Major Roads within 1.0 miles	2
Major Roads withing 3.0 miles	1
Within 500' of Water and Sewer Line	2
Withing 1000' of Water and Sewer Line	1

- PURPOSE:
 - To look at the realities of regional housing opportunity
 - Consider existing infrastructure and potential extension/connections.
- METHODOLOGY:
 - REMOVED: Natural Features
 - REMOVED: Man-made infrastructure (roads, conservation land)
 - REMOVED: Existing developed land uses
 - ADDED: Buffers around major roads and water/sewer lines



Next Steps:

Toolbox Development: Statewide effort to develop a resource of tools available to support housing development. Includes local actions such as zoning, engagement & education, and housing policy and legislation.

Regional Conversations: RPC to identify possible next steps, which will begin with continued regional conversations, connecting housing to the regional master plan update, and integrating stakeholder input based on identified need from our municipalities.

Local Action: Will be determined on a community-by-community basis. Local municipalities may begin to identify housing goals and work towards tackling these targets. Utilize the RHNA as a resource in this process.

To Submit Input: www.therpc.org/RHNA



2022 REGIONAL HOUSING NEEDS ASSESSMENT

RHNA Questions & Comments

 Translate

Please enter your comments and questions about Rockingham Planning Commission's 2023 Regional Housing Needs Assessment.

RPC staff will respond to general questions by posting questions and answers on the RHNA website - www.therpc.org/RHNA.



For specific inquiries, please provide your name and email address with your question(s) or comments so that RPC staff can contact you for follow-up.

Enter your questions and comments here:

Please elaborate.

Contact Information:

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